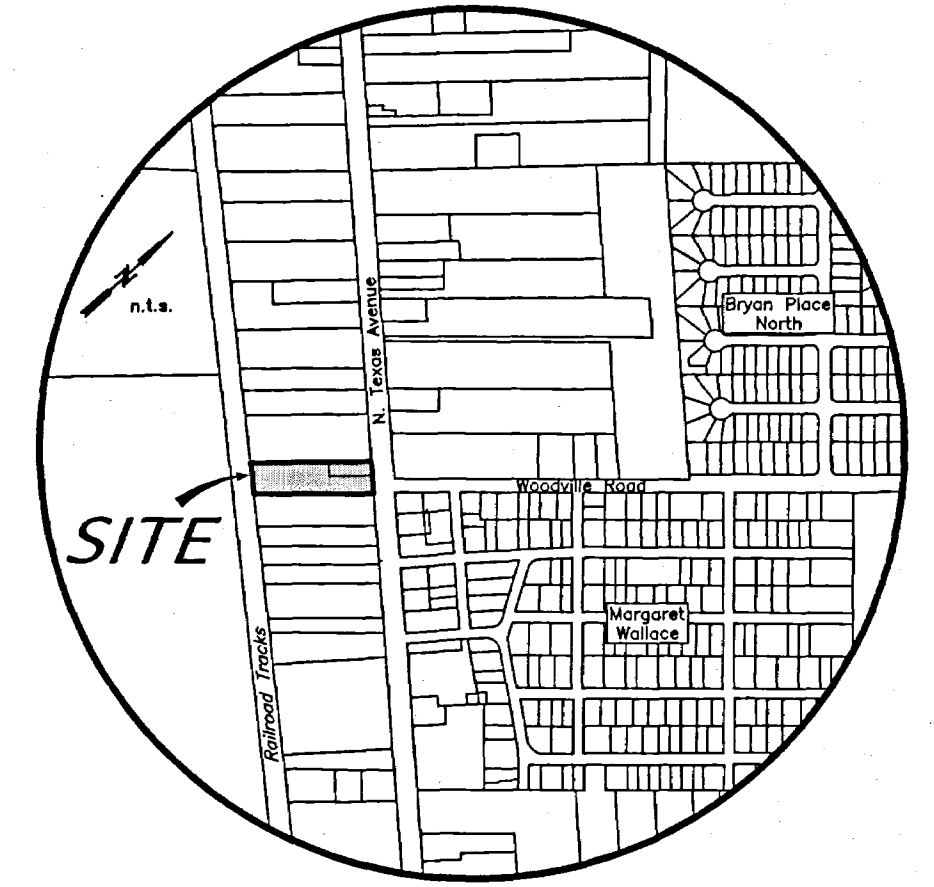
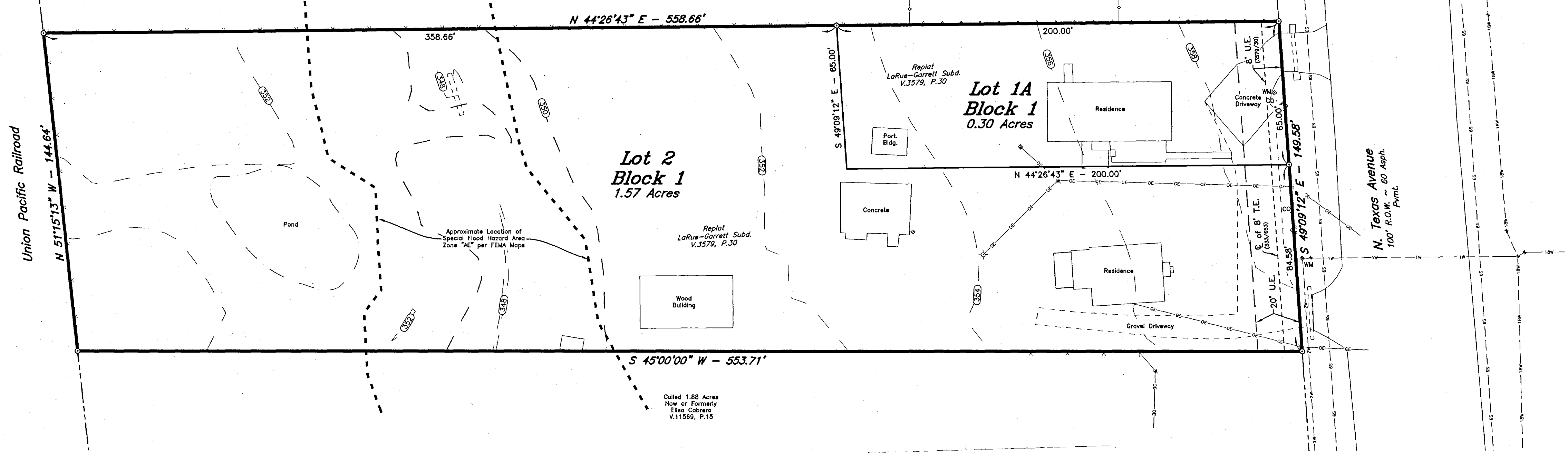


ORIGINAL PLAT

LOT 1A AND LOT 2, BLOCK 1
REPLAT OF LARUE GARRETT SUBDIVISION
RECORDED IN VOLUME 3579, PAGE 30



VICINITY MAP

Scale: 1"=30'

FIELD NOTES

Being all that certain tract or parcel of land lying and being situated in the MOSES BAINE SURVEY, Abstract No. 3, in Bryan, Brazos County, Texas and being all of the LARUE GARRETT SUBDIVISION recorded in Volume 3579, Page 30 of the Official Records of Brazos County, Texas (O.R.B.C.) and being more particularly described by metes and bounds as follows:

BEGINNING: at a found 3/8-inch iron rod marking the north corner of Lot 1A, Block 1, LARUE GARRETT SUBDIVISION, said iron rod also being the east corner of the called 2.86 acre Mitchell Keith tract recorded in Volume 284, Page 244 of the Brazos County Deed Records (B.C.D.R.) and in the southwest right-of-way line of North Texas Avenue (based on a 100-foot width);

THENCE: S 49°09'12" E along the southwest right-of-way line of said North Texas Avenue for a distance of 149.58 feet to a found 3/8-inch iron rod marking the east corner of Lot 2, Block 1 of said LARUE GARRETT SUBDIVISION and the north corner of the called 1.88 acre Eliso Cabrera tract recorded in Volume 11569, Page 15 (O.R.B.C.);

THENCE: S 45°00'00" W along the common line of said Lot 2, Block 1 for a distance of 553.71 feet to a found 3/8-inch iron rod marking the south corner of said Lot 2, Block 1, said iron rod also being the west corner of the called 1.88 acre Cabrera tract and in the northeast right-of-way line of the Southern Pacific Railroad;

THENCE: N 51°15'13" W along the common line of said Lot 2, Block 1 and the northeast right-of-way line of the said Southern Pacific Railroad for a distance of 144.64 feet to a found 3/8-inch iron rod marking the west corner of said Lot 2, Block 1 and the south corner of the called 2.86 acre Keith tract;

THENCE: N 44°26'43" E along the common line of said Lot 2, Block 1 and the called 2.86 acre Keith tract for a distance of 558.66 feet to the POINT OF BEGINNING and containing 1.871 acres of land, more or less.

CERTIFICATE OF OWNERSHIP AND DEDICATION

STATE OF TEXAS
COUNTY OF BRAZOS

I, Gay Glover owner and developer of the land shown on this plat, being all of the tract of land as conveyed to me in the Official Records of Brazos County in Volume 11811, Page 52 and whose name is subscribed hereto, hereby dedicate to the use of the public forever, all streets, alleys, parks, water courses, drains, easements, and public places shown hereon for the purposes identified.

Gay Glover
Gay Glover

STATE OF TEXAS
COUNTY OF BRAZOS

Before me, the undersigned authority, on this day personally appeared Gay Glover known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose stated.

Given under my hand and seal on this 22 day of February, 2020.

Sandra Boster
Notary Public, Brazos County, Texas

Filed for Record
Official Public Records Of:
Brazos County Clerk
On: 4/14/2020 9:27:14 AM
In the PLAT Records

Doc Number: 2020 - 1390324
Volume - Page: 15976 - 107
Number of Pages: 1
Am. unit: 73.00
Ord. # #: 20700414000025
By: MD



County, do hereby certify
entention was filed for
June 20 in
Page

Karen McQuinn
County Clerk, Brazos County, Texas
By Michelle Oliver

APPROVAL OF THE CITY ENGINEER

I, W Paul Kappan, the undersigned, City Engineer of the City of Bryan, hereby certify that this plat is in compliance with the appropriate codes and ordinances of the City of Bryan and was approved on the 16 day of March, 2020.

W Paul Kappan
City Engineer, Bryan, Texas

CERTIFICATE OF OWNERSHIP AND DEDICATION

STATE OF TEXAS
COUNTY OF BRAZOS

I, Jose Montanez owner and developer of the land shown on this plat, being all of the tract of land as conveyed to me in the Official Records of Brazos County in Volume 15721, Page 165 and whose name is subscribed hereto, hereby dedicate to the use of the public forever, all streets, alleys, parks, water courses, drains, easements, and public places shown hereon for the purposes identified.

Jose Montanez
Jose Montanez

STATE OF TEXAS
COUNTY OF BRAZOS

Before me, the undersigned authority, on this day personally appeared Jose Montanez known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose stated.

Given under my hand and seal on this 25 day of February, 2020.

Sandra Boster
Notary Public, Brazos County, Texas

APPROVAL OF THE CITY PLANNER

I, Martin Zimmerman, the undersigned, City Planner and/or designated Secretary of the Planning & Zoning Commission of the City of Bryan, hereby certify that this plat is in compliance with the appropriate codes and ordinances of the City of Bryan and was approved on the 16 day of March, 2020.

Martin Zimmerman
City Planner, Bryan, Texas

CERTIFICATION OF THE SURVEYOR

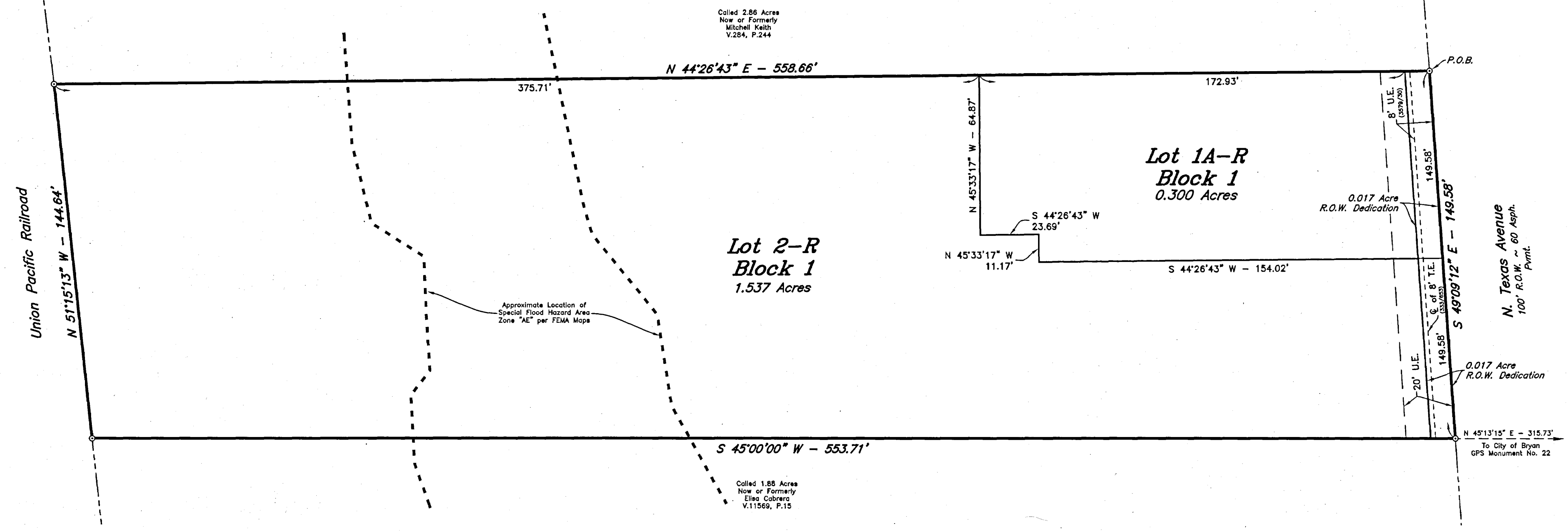
STATE OF TEXAS
COUNTY OF BRAZOS

I, Gregory Hopcus, Registered Professional Land Surveyor No. 6047, in the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property and that property markers and monuments were placed under my supervision on the ground, and that the metes and bounds describing said subdivision will describe a closed geometric form.

Gregory Hopcus 3-9-2020
Gregory Hopcus, R.P.L.S. No. 6047



REPLAT



REPLAT

LOT 1A-R AND LOT 2-R, BLOCK 1
**LARUE GARRETT
SUBDIVISION**
BEING A REPLAT OF LOT 1A AND LOT 2, BLOCK 1
RECORDED IN VOLUME 3579, PAGE 30
1.871 ACRES
MOSES BAINE SURVEY, A-3
BRYAN, BRAZOS COUNTY, TEXAS
JANUARY, 2020
SCALE: 1" = 30'

Owner:
Jose Montanez
4400 N. Texas Avenue
Bryan, Texas 77803

Owner:
Gay Glover
4402 N. Texas Avenue
Bryan, Texas 77803

Surveyor:
McClure & Browne Engineering/Surveying, Inc.
1008 Woodcreek Dr., Suite 103
College Station, Texas 77845
(979) 693-3838

Texas Firm Registration No. 10103300